

LOCATION	CIVIC ADDRESS :	1350 Hickey Rd, Saint John, NB E2J 5C9	PID # :	00313072	
STAFF USE	HERITAGE AREA: Y / N	INTENSIFICATION AREA: Y / N	FLOOD RISK AREA: Y / N	APPROVED GRADING PLAN: Y / N	
	APPLICATION #:	18-255	DATE RECEIVED:	Nov. 30, 2018	
			RECEIVED BY:	Aimee + Andy	
APPLICANT INFORMATION	APPLICANT	Residential Contractors on behalf of 616813 N. B. Ltd.	EMAIL	PHONE	
			Bob Landry <res.contractors@rogers.com>	(506)647-8181	
	MAILING ADDRESS	POSTAL CODE			
		3396 Loch Lomond Rd, Saint John, NB E2N 1B5			
	CONTRACTOR /DEVELOPER	EMAIL	PHONE		
		Bob Landry <res.contractors@rogers.com>	(506)647-8181		
	MAILING ADDRESS	POSTAL CODE			
		3396 Loch Lomond Rd, Saint John, NB E2N 1B5			
	OWNER	EMAIL	PHONE		
				(506)657-8463	
	MAILING ADDRESS	POSTAL CODE			
		1350 Hickey Rd, Saint John, NB E2J 5C9			
PRESENT USE: Commercial Meat and Produce Sales PROPOSED USE: Commercial Meat and Produce Sales					
CHECK ALL THAT APPLY	BUILDING		PLANNING	INFRASTRUCTURE	HERITAGE
	<input type="checkbox"/> INTERIOR RENOVATION <input type="checkbox"/> EXTERIOR RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/> DECK <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> MINIMUM STANDARDS	<input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ACCESSORY BLDG <input type="checkbox"/> POOL <input type="checkbox"/> DEMOLITION <input type="checkbox"/> SIGN <input type="checkbox"/> OTHER	<input type="checkbox"/> VARIANCE <input type="checkbox"/> PLANNING LETTER <input type="checkbox"/> PAC APPLICATION <input checked="" type="checkbox"/> COUNCIL APP <input type="checkbox"/> SUBDIVISION <input type="checkbox"/> OTHER	<input type="checkbox"/> STREET EXCAVATION <input type="checkbox"/> DRIVEWAY CULVERT <input type="checkbox"/> DRAINAGE <input type="checkbox"/> WATER & SEWERAGE <input type="checkbox"/> OTHER	<input type="checkbox"/> HERITAGE DEVELOPMENT <input type="checkbox"/> HERITAGE SIGN <input type="checkbox"/> HERITAGE INFILL <input type="checkbox"/> HERITAGE DEMO <input type="checkbox"/> OTHER
DESCRIPTION OF WORK	This application is for the purposes of proposing amendments under Section 59 of the Community Planning Act to a Section 39 agreement established by Common Council on March 1, 2004.				

☐ I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

General Collection Statement

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building
 8th Floor - 15 Market Square
 Saint John, NB E2L 1E8
 (506) 658-2862



I, the undersigned, hereby apply for the permit(s) or approval(s) indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

Residential Contractors - Bob Landry 616813 N. B. Ltd.
 on behalf of 616813 N. B. Ltd. - Sean Fillmore

Applicant Name	Owner / Authorisation
Applicant Signature	Owners Signature
November 26, 2018	November 26, 2018
Date	Date



Residential Contractors Ltd.
3396 Loch Lomond Road,
Saint John, N.B.
E2N 1B5

Office: 696-8521
Fax: 696-8520

res.contractors@rogers.com

November 26, 2018

Ltd.

Mr. Mark Reade, MCIP
Growth & Development Services
City of Saint John
10th Floor, City Hall
Saint John, NB

Re: Application to Amend Existing Section 39 Conditions (Section 59 Amendment),

Dear Mark,

Please find enclosed the following for the above noted Section 39 conditions application:

- General Application Form and Council Application Form;
- Our clients cheque in the amount of \$2500 for the application fee;
- Copy of Preliminary Site Plan (3) showing existing conditions;
- Copy of Preliminary Site Plan (3) showing proposed site conditions.

Details of the proposal are outlined in the application. Once you have reviewed the enclosed material if you have any questions, please do not hesitate to contact me. A digital submission to Onestop has been forwarded by Hughes Surveys & Consultants Ltd. at our request.

We trust this application will help move the process of obtaining a building permit forward without delay. Please advise as to who we should meet with to discuss how this will impact our schedule. I can be reached at 506-647-8181 anytime.

Yours truly,

Residential Contractors Ltd.


Robert (Bob) Landry

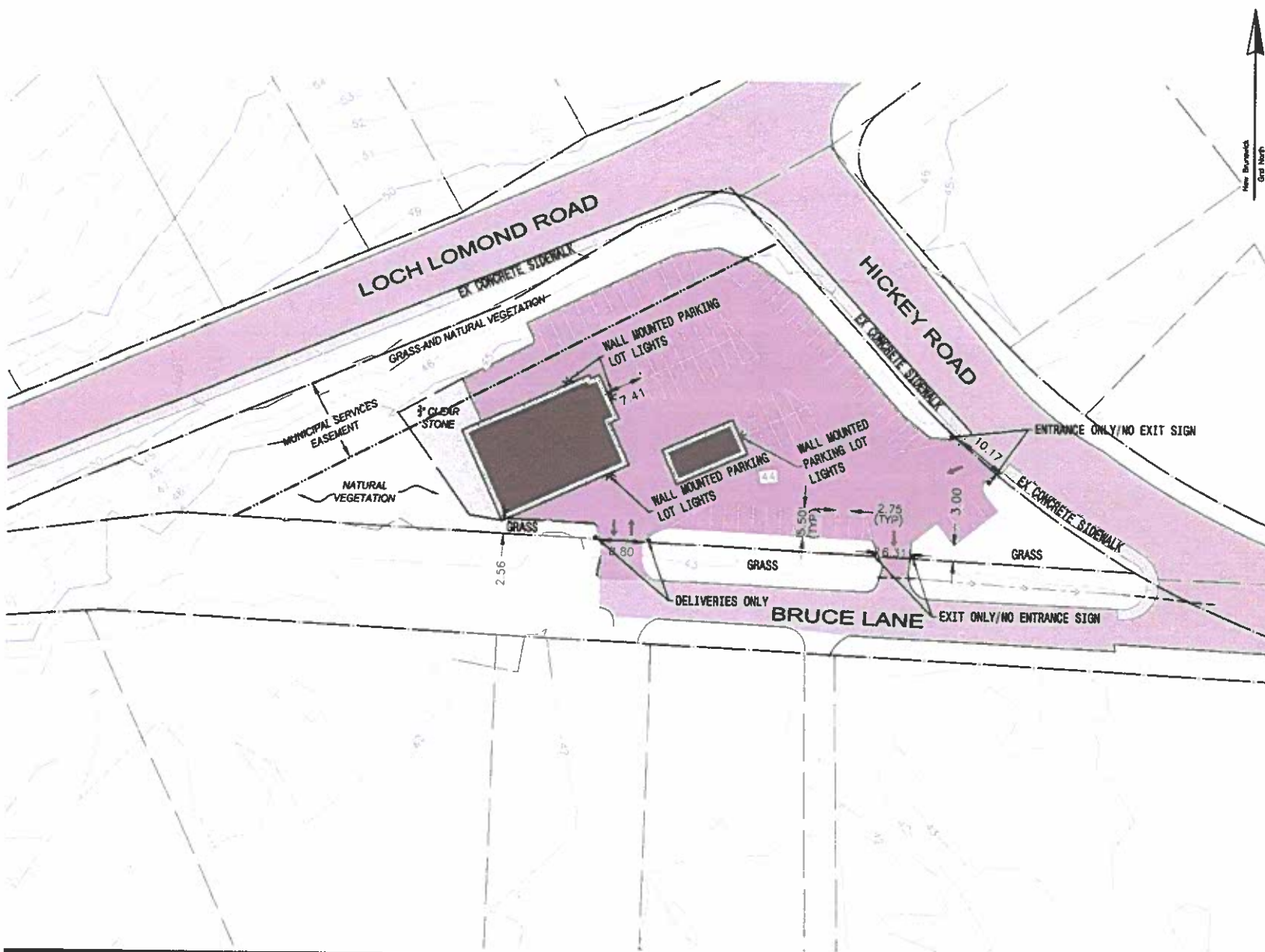
CIVIC ADDRESS	1350 Hickey Road	APPLICATION #		FEE PAID	Y	N
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TYPE OF APPLICATION		
<input type="checkbox"/> Land for Public Purposes Release Service Fee: \$300	<input type="checkbox"/> Non-Conforming Use Service Fee: \$200	<input type="checkbox"/> Satisfactory Servicing Service Fee: \$200
<input checked="" type="checkbox"/> Section 59 Amendment Service Fee: \$2,500	<input type="checkbox"/> Zoning By-law Amendment Service Fee: \$2,500	<input type="checkbox"/> Zoning By-law Amendment with a Municipal Plan Amendment Service Fee: \$3,500


DETAILED DESCRIPTION OF APPLICATION
Where applicable, indicate the changes to existing Section 39 conditions, zoning, or Municipal Plan designation being requested. Attach site plans, building elevations, floor plans, and other documentation to fully describe the application. The submission of a preliminary proposal and a Pre-Application Meeting is encouraged prior to seeking approval. Please contact the One-Stop Development Shop at (506) 658-2911 for further information.
Amend Section 39 conditions for PID 00313072 Under Section 39 of the revised Community Planning Act
See attached page for details.

ENCUMBRANCES
Describe any easements, restrictive covenants, and other encumbrances affecting the land.
An Easement for Municipal Services exists along the Loch Lomond Road frontage. We are not aware of any other encumbrances affecting the property.

AUTHORIZATION
As of the date of this application, I, the undersigned, am the registered owner of the land described in this application or the authorized agent thereof, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize the applicant to represent this matter and to provide any additional information that will be necessary for this application.
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>Residential Contractors Ltd. on behalf of 616813 N. B. Ltd. – Robert Landry</p> <p>_____ Authorized Agent</p> <p>_____ Date November 26, 2018</p> </div> <div style="width: 45%;"> <p>616813 N. B. Ltd. – Sean Fillmore</p> <p>_____ Owner</p> <p>_____ Date November 26, 2018</p> </div> </div>
The information contained in this application and any documentation, including plans, drawings, reports, and studies, provided in support of this application will become part of the public record.



0		ISSUED FOR APPROVAL	29-NOV 2018	JLP
No.	Revisions		Date	By



HUGHES
SURVEYORS - ENGINEERS

Hughes Surveys & Consultants Inc.
(SINCE 1988)

325 Cross Street
St. John's, NL
A1B 1X9

Tel: (204) 634-1777
Fax: (204) 634-6799
cell: (204) 634-6799

Project Title		
PROPOSED DEVELOPMENT		
ON THE VINE PROPERTY 1350 HICKEY ROAD		
Drawing Title		
SITE PLAN		
PROPOSED CONDITIONS		
CADD By JLP	CHK'd by RET	Scale HORZ. 1:750
Project No. Y18172-	Phase	Revision 0
		Sheet 2

H:\2018\Jobs\18172\CD\Y18-172-site plan.dwg PROPOSED Thursday, November 29, 2018



0	ISSUED FOR APPROVAL			28-NOV-2018	JLP
No.	Revisions			Date	By



Hughes Surveys & Consultants Inc.
(08852) ena.hughesurveys.com
 575 Owen Road
 Unit 101, 10
 CA, 902
 Tel : (310) 334-1717
 Fax : (310) 334-0799
 email : info@hughesurveys.com

Project Title
PROPOSED DEVELOPMENT

ON THE VINE PROPERTY
1350 HICKEY ROAD

Drawing Title
SITE PLAN
 EXISTING CONDITIONS

CADD by JLP	Chk'd by RET	Scale HORZ. 1:750
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Project No. Y18172-	Phase	Revision 0	Sheet 1
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**Proposal to Amend Section 39 Conditions under Section 59,
616813 N. B. Ltd. Property Operating as On the Vine,
Hickey Road - PID #00313072**

It is proposed the property be subject to the following conditions:

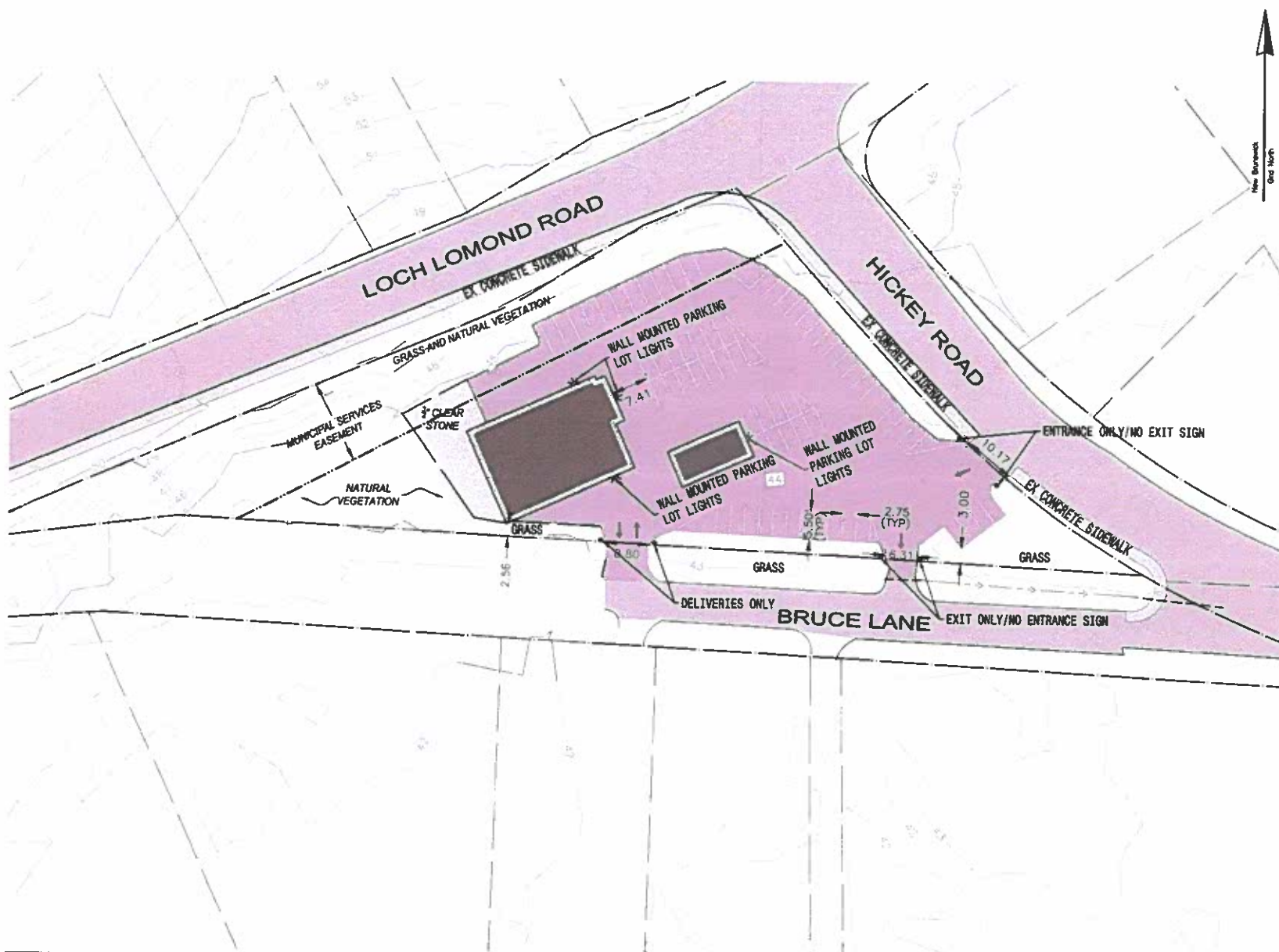
- a) The developer must pave all parking areas, vehicle manoeuvring areas and driveways with asphalt and facilitate proper drainage;*
- b) Adequate site drainage facilities must be provided by the developer, including catch basins where necessary, in accordance with a detailed drainage plan, prepared by the developer and subject to the approval of the Chief City Engineer or his designate, and the approved drainage plan must be attached to any application for building permit for the development;*
- c) The developer must landscape all disturbed areas of the site not occupied by buildings, driveways, walkways, parking or loading areas, including the City street right-of-way to the edge of the City sidewalk;*
- d) The landscaping along the front lot lines of the developed portion of the site must have a minimum width of 3 metres (10 feet), inside the front property line, except where interrupted by permitted driveways;*
- e) The developer must install all telephone and electrical wires underground from the existing overhead facilities on the street to any building on the site;*
- f) Vehicular access to the site shall consist of a maximum of one driveway on Hickey Road used as an entry only, a maximum of one driveway on Bruce Lane used as an exit only, a driveway from Bruce Lane for loading and unloading all with appropriate signage and no access on Loch Lomond Road, and the exact location of any permitted driveways is subject to the approval of the Chief City Engineer or his designate;*

The property owner has faced a number of challenges over the years they have been operating but now find they are in a position to do a much needed modernization and expansion of their business. The modernization and expansion of their business will provide an opportunity to create additional jobs and the larger, more modern premises will add to the property value thus producing an enhanced assessment.

Many of the previously imposed conditions have been met. For example an easement for municipal services was granted to The City of Saint John to protect existing municipal water transmission lines that traverse the site granted at no cost to the municipality.

Modifications to the site access have been adjusted to provide for a safer situation for customers, staff and deliveries to the site over the years and form part of this application. Site drainage is being addressed in accordance with the city's recently adopted by-law. We request the condition to add sidewalk and curbing along Bruce Lane be eliminated as it appears to add an unnecessary cost to the project.

The recently applied for building permit for modernization and expansion of their business addresses many of the conditions imposed in the March 2004. Conditions that are subject to approval of the Development Officer as authorized by Common Council at that time.



0	ISSUED FOR APPROVAL	28-MAY-2018	JL
No.	Revisions	Date	B



Hughes Surveys & Consultants Inc.

575 Green Street
Bridgetown, Barbados
Tel: (246) 422-1711
Fax: (246) 422-4700
E-mail: info@bbsi.com

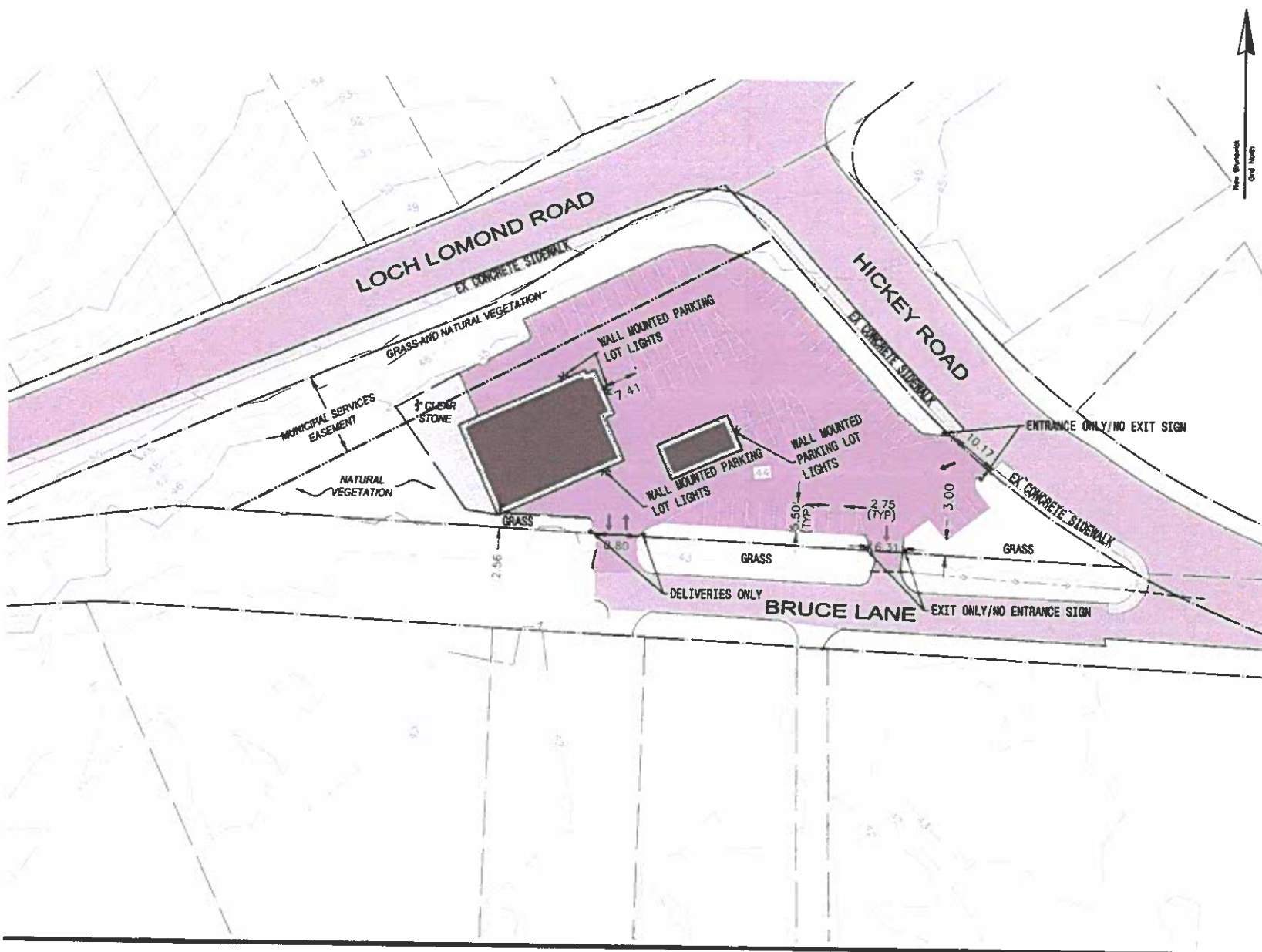
Project Title
PROPOSED DEVELOPMENT

**ON THE VINE PROPERTY
1350 HICKEY ROAD**

Drawing Title
SITE PLAN
PROPOSED CONDITIONS

CADD By JLP	Chk'd by RET	Scale HORZ. 1:750
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Project No. Y18172-	Phase	Revision 0	Sheet 2
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0	ISSUED FOR APPROVAL	28-NOV-2018	JLP
No.	Revisions	Date	By



Hughes Surveys & Consultants Inc.
(2018) www.hughesinc.com
525 Orono Street
Stellarton, NS
C1B 1B9
Tel: (902) 334-1777
Fax: (902) 334-0300
Email: info@hughesinc.com

Project Title
PROPOSED DEVELOPMENT


ON THE VINE PROPERTY
1350 HICKEY ROAD

Drawing Title
SITE PLAN
PROPOSED CONDITIONS

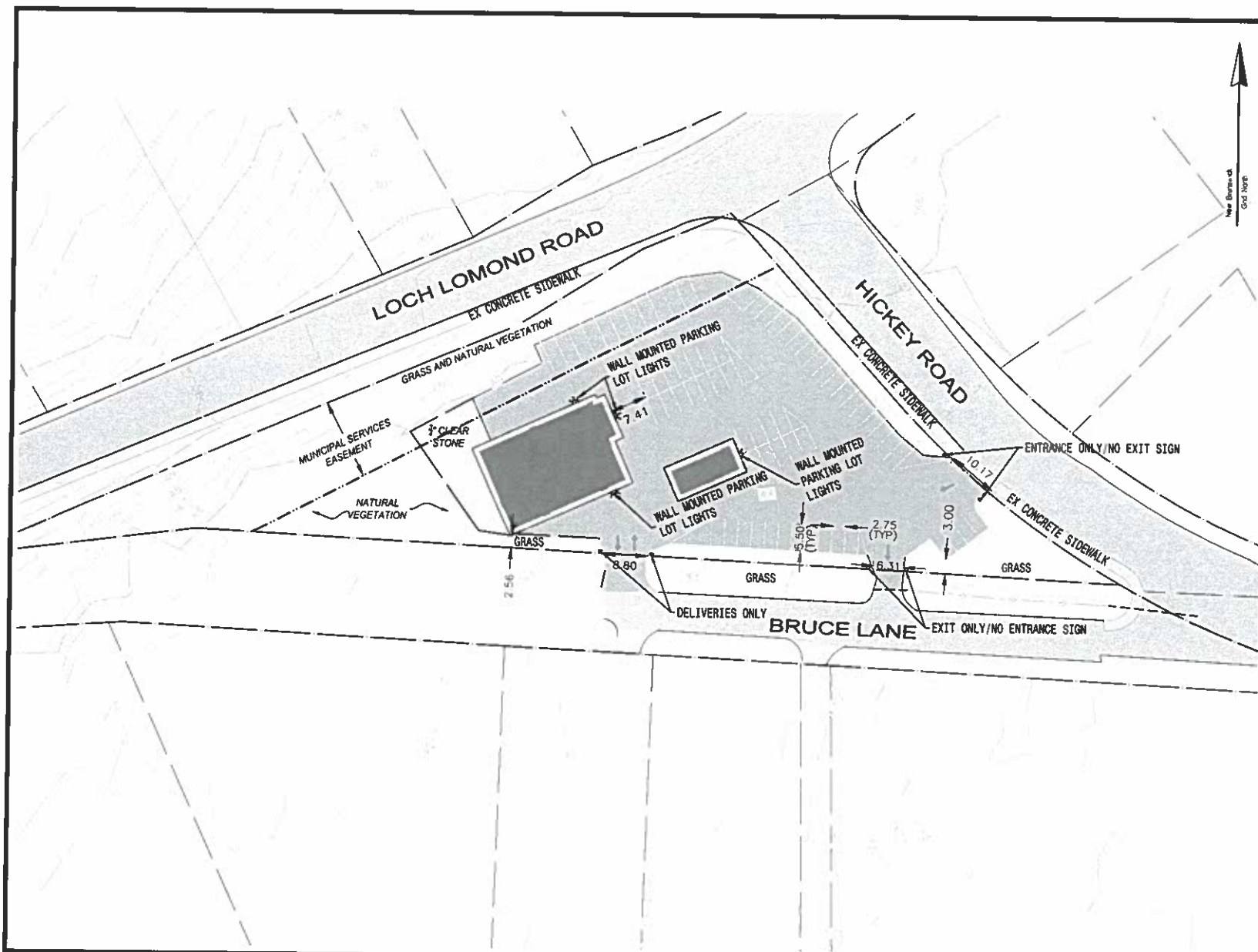
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Project No. Y18172-	Phase	Revision 0	Sheet 2

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<div style="text-align: center;">  <p>HUGHES SURVEYORS - ENGINEERS</p> </div>			
<p>Hughes Surveys & Consultants Inc. <small>(REGD. CIVIL ENGINEER)</small> 375 Owen Street Suite 101, St. Catharines, ON L2R 9B9 Tel: (905) 631-1717 Fax: (905) 631-0788 Email: info@hughes-engineers.com</p>			
<p>Project Title PROPOSED DEVELOPMENT</p>			
<p>Drawing Title SITE PLAN EXISTING CONDITIONS</p>			
<p>CADD By JLP</p>	<p>Chkd by RET</p>	<p>Scale HORZ. 1:750</p>	
<p>Project No. Y18172-</p>	<p>Phase</p>	<p>Revision 0</p>	<p>Sheet 1</p>

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0	ISSUED FOR APPROVAL	28-NOV 2018	JLP
No.	Revisions	Date	By



Hughes Surveys & Consultants Inc.

575 Owen Street
Saint John, NB
E7B 3G9

Tel: (506) 634-1717
Fax: (506) 634-0739
Email: info@hughesurvey.com

Project Title
PROPOSED DEVELOPMENT

ON THE VINE PROPERTY
1350 HICKEY ROAD

Drawing Title
SITE PLAN
PROPOSED CONDITIONS

CADD By JLP	CHK'd By RET	Scale HORZ. 1:750
Project No. Y18172-	Phase	Revision 0
		Sheet 2



PROPOSED SECTION 59 AMENDMENT

Public Notice is hereby given that the Common Council of The City of Saint John intends to consider amending The City of Saint John Zoning By-law at its regular meeting to be held in the Ludlow Room, City Hall, on Monday, January 28, 2019 at 6:30 p.m., by:

Amending the Section 39 conditions imposed on the March 22, 2004 rezoning of the property located at 1350 Hickey Road, also identified as PID No. 00313072.



To amend existing Section 39 conditions as part of the redevelopment of the site.

